

**RUSH
WITT &
WILSON**



**29 Plemont Gardens, Bexhill-On-Sea, East Sussex TN39 4HH
£1,500 Per Month**

A beautiful three bedroom detached house, situated in this highly sought after residential location of Bexhill. Offering bright and spacious accommodation throughout, the property comprises three bedrooms, dining hall, living room, fitted kitchen, w.c and bathroom suite. Externally, the property boasts off road parking, garage and private front and rear gardens. Viewing comes highly recommended by Rush, Witt & Wilson.

Terms £1500 Deposit, 1st months rent in advance. In order to proceed with an application a holding deposit equivalent to one weeks rent will be required to hold the property whilst references are being obtained. This will be taken off of your first months rent on move in upon successful completion of the referencing process. Please contact a member of staff for further details. For more information or to book a viewing, please call (01424) 225588. We are members of The Property Redress Scheme and CMP (client money protect scheme CMP002697).



Entrance Hallway

Living Room

Dining Hall

Kitchen

Side Porch

Dining Room/Downstairs Bedroom

First Floor Landing

Bedroom One

Bedroom Two

Bathroom

Separate WC

OUTSIDE

Front Garden

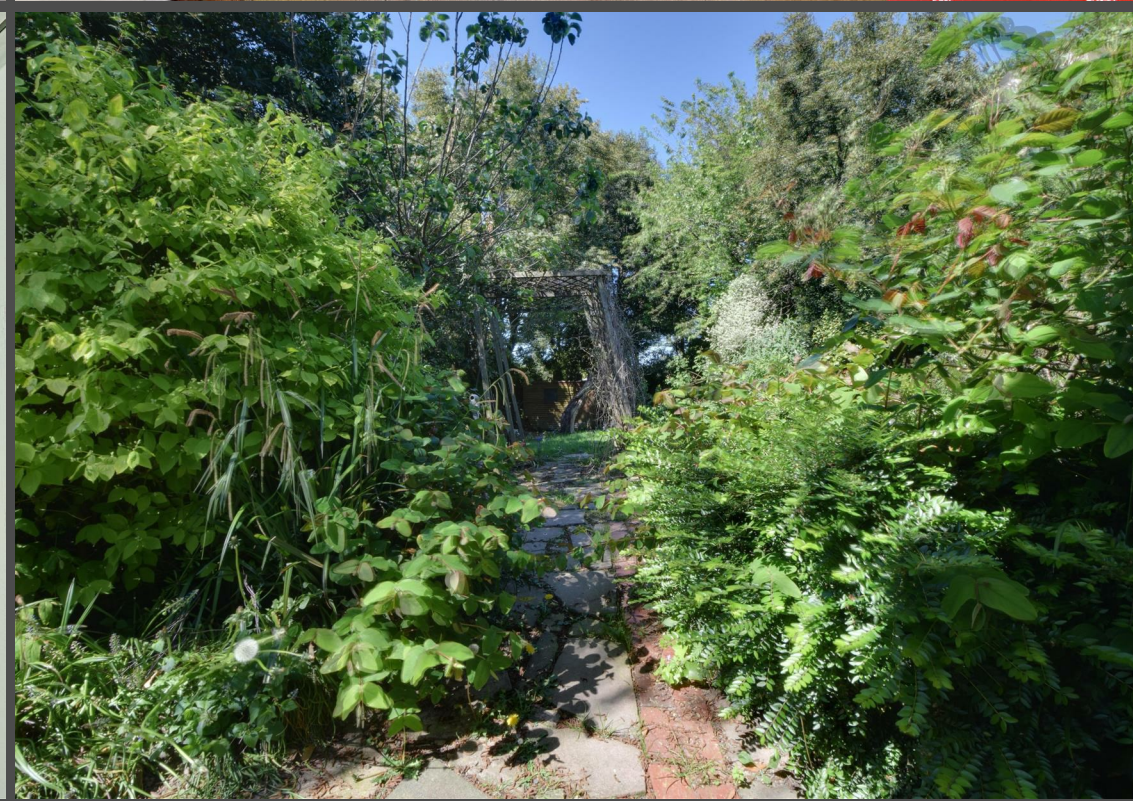
Rear Garden

Garage

Driveway

Agents note

These particulars are produced in good faith, but are intended to be a general guide only. It should also be noted that any measurements quoted are given for guidance only and are approximate and should not be relied upon for any other purpose. None of the services or appliances mentioned in these particulars have been tested unless required. Further information on broadband and mobile coverage and speeds can be found at [Ofcom.org.uk/phones-and-broadband/coverage-and-speeds/Ofcom-checker/](https://www.ofcom.gov.uk/phones-and-broadband/coverage-and-speeds/Ofcom-checker/) According to the gov.uk website the property is located in an area at low or very low risk of flooding.

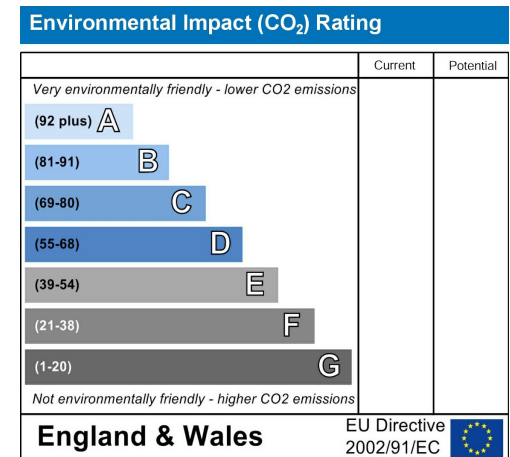
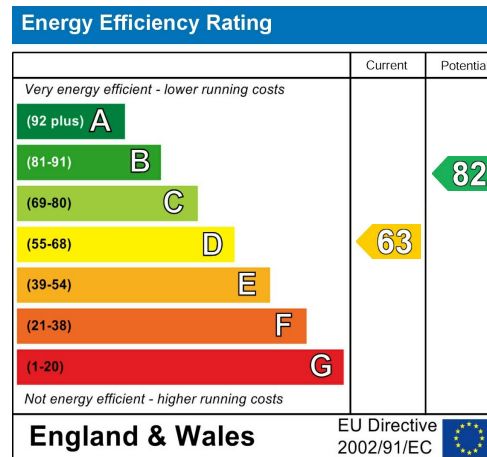
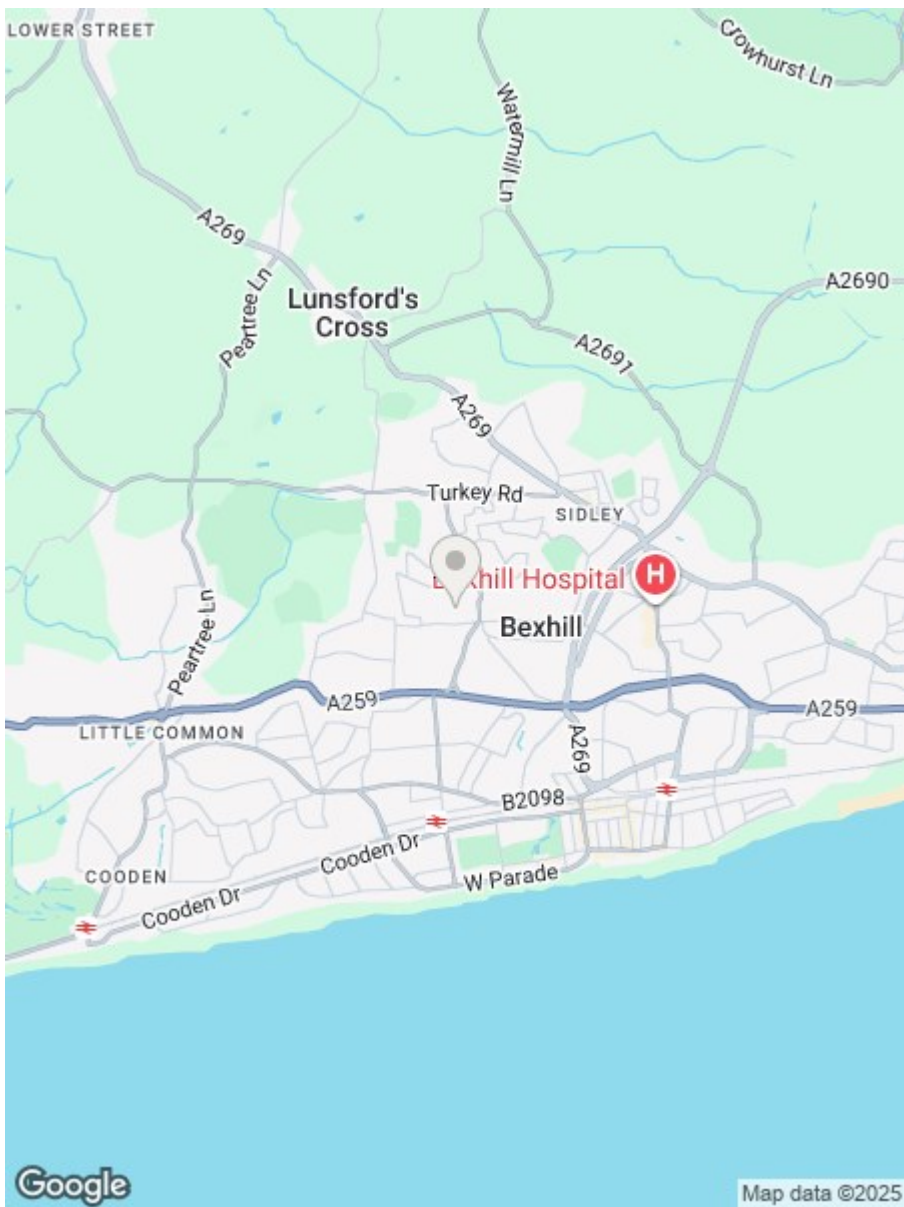




TOTAL FLOOR AREA : 1174 sq.ft. (109.1 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.

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